

**MANASQUAN PLANNING BOARD MEETING AGENDA  
CONDUCTED WITH ZOOM  
DECEMBER 21, 2021 4:00 PM – TUESDAY**

**Join Zoom Meeting**

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**ID # 261 009 5007**

**Password 281 797**

Please take notice that the Manasquan Planning Board will convene a remote meeting on December 21, 2021 4:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

**PUBLIC MEETING**

Salute to the Flag

Roll Call

Sunshine Law Announcement

**OLD/NEW BUSINESS**

1. Nominations - Balance

**APPLICATION**

2. #44-2021 Bushong, Charlotte - 222 East Main Street - Block 96 Lot 4.01 (carried from 11/22/2021)
3. #51-2021 Brederhorst, John - 560 Brielle Road - Block 177 Lot 3

**OTHER BUSINESS**

Comments from individual board members

**ADJOURNMENT**

September 13, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01  
222 East Main Street  
R-2 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property prepared by Michael Williams, PLS, dated January 7, 2019.
2. Architectural Floor Plans, Elevations, and Site Plan prepared by Carolyn Young, RA, of CA Young Architecture, dated June 10, 2021.

The property is located in the R-1 Single-Family Residential Zone with frontage on East Main Street and Wyckoff Avenue. With this application, the applicant proposes to construct a new two-story addition on the east side of the existing dwelling and interior alterations. The application is deemed complete as of September 13, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-1 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum building coverage of 25% is permitted, whereas a coverage of 32.8% is proposed (25.8% exists).
  - b. A maximum lot coverage of 35% is permitted, whereas a coverage of 45.9% is proposed (36.6% exists).
  - c. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 14 feet 4 inches is proposed.

Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01

September 13, 2021  
Sheet 2

3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
  - a. A minimum lot area of 7,000 square feet is required, whereas a lot area of 6,207.5 square feet exists.
  - b. A minimum front yard setback of 25 feet is required, whereas a setback of 17.9 feet exists.
  - c. A minimum rear yard setback of 35 feet is required, whereas a setback of 27.71 feet exists.
  - d. A minimum side yard setback of 15 feet is required, whereas a setback of 13.26 feet exists (west side – corner lot).
  - e. A minimum accessory rear yard setback of 5 feet is required, whereas a setback of 0.38 feet exists.
  - f. A minimum accessory side yard setback of 5 feet is required, whereas a setback of 1.57 feet exists.
  - g. A minimum driveway setback of 1 foot is required, whereas a setback of approximately 0 feet exists.
4. A revised grading plan for the property must be submitted.
5. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the building footprint by more than 500 square feet.
6. It appears that several existing trees will be removed as part of the application. Any trees to be removed must be shown on the plan.
7. If proposed, the location of any additional air conditioning units must be shown on the plan. They must be located outside of the side yard setback area or a variance must be requested.
8. Any curb and sidewalk must be replaced along East Main Street and Wyckoff Avenue.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01

September 13, 2021  
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Carolyn Young, RA  
CA Young Architecture, 118 Washington Street, Morristown, NJ 07960  
Charlotte Bushong  
222 East Main Street, Manasquan, NJ 08736

December 15, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01  
222 East Main Street  
R-2 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property prepared by Michael Williams, PLS, dated January 7, 2019.
2. Architectural Floor Plans, Elevations, and Site Plan prepared by Carolyn Young, RA, of CA Young Architecture, dated November 30, 2021.

The property is located in the R-1 Single-Family Residential Zone with frontage on East Main Street and Wyckoff Avenue. With this application, the applicant proposes to construct a new two-story addition on the east side of the existing dwelling and interior alterations. The application was previously deemed complete on September 13, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-1 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum building coverage of 25% is permitted, whereas a coverage of 30.8% is proposed (25.8% exists, 32.8% previously requested).
  - b. A maximum lot coverage of 35% is permitted, whereas a coverage of 39.8% is proposed (36.6% exists, 45.9% previously requested).
  - c. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 14 feet 4 inches is proposed.

Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01

December 15, 2021  
Sheet 2

- d. The proposed generator is now located in the rear yard, outside the side yard setback, but not within the building envelope as required.
3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
    - a. A minimum lot area of 7,000 square feet is required, whereas a lot area of 6,207.5 square feet exists.
    - b. A minimum front yard setback of 25 feet is required, whereas a setback of 17.9 feet exists.
    - c. A minimum rear yard setback of 35 feet is required, whereas a setback of 27.71 feet exists.
    - d. A minimum side yard setback of 15 feet is required, whereas a setback of 13.26 feet exists (west side – corner lot).
    - e. A minimum accessory rear yard setback of 5 feet is required, whereas a setback of 0.38 feet exists.
    - f. A minimum accessory side yard setback of 5 feet is required, whereas a setback of 1.57 feet exists.
    - g. A minimum driveway setback of 1 foot is required, whereas a setback of approximately 0 feet exists.
  4. A revised grading plan for the property must be submitted.
  5. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed addition does not increase the building footprint by more than 500 square feet.
  6. The trees to be removed and grading plan for the property were provided on the previously submitted plan dated September 28, 2021.
  7. The new air conditioning unit is now proposed in the eastern side yard, outside of the required setback.
  8. Any curb and sidewalk must be replaced along East Main Street and Wyckoff Avenue.



Re: Boro File No. MSPB-R1720  
Variance – Bushong  
Block 96, Lot 4.01

December 15, 2021  
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Al Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Carolyn Young, RA  
CA Young Architecture, 118 Washington Street, Morristown, NJ 07960  
Charlotte Bushong  
222 East Main Street, Manasquan, NJ 08736

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

RECEIVED AUG 31 2021

APPLICATION TO THE PLANNING BOARD

\*Applicant's Name: CHARLOTTE ETTA BUSHONG

\*Applicant's Address: 222 EAST MAIN STREET

\*Telephone Number: Home: NONE Cell: 201-927-6537

\*e-mail Address: ETTABUSHONG@optimum.net

\*Property Location: 222 EAST MAIN STREET

\*Block: 96 Lot: 4.01

\*Type of Application: BULK VARIANCE

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

\*Date of Zoning Officer's Denial Letter: 6-30-2021, REVISED 8-16-21  
Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? YES

\*Does the Applicant own any adjoining land? NO

\*Are the property taxes paid to date? YES

\*Have there been any previous applications to the Planning Board concerning this property? NO  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? NO

(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Charlotte Etta Bushong  
Signature of Applicant or Agent

8/18/21  
Date

06/2021



BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

**BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736**

732-223-0544  
Fax 732-223-1300

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

August 16, 2021

Charlotte Bushong  
222 East Main Street  
Manasquan, NJ 08736

Re: Block: 96 Lot: 4.01 Zone: R-1

Dear Ms. Bushong:

On this date we reviewed your application for the following project.

Construct a two story side addition and other interior alterations and renovations.

Survey/site plan prepared by Michael Williams on January 7, 2019. Conceptual plans prepared by Carolyn Young on June 10, 2021.

**Application denied for the following reason(s):**

Section 35-9.4 – Lot Area – 7,000s.f. Required  
6,207.5s.f. Existing

- “ - Front Setback – 25ft. Required  
17.9ft. Existing  
27.2ft. Proposed
- “ - Rear Setback – 35ft. Required  
27.7ft. Existing  
35.5ft. Proposed
- “ - Side Setback (Left) – 15ft. Required  
13.26ft. Existing
- “ - Building Coverage – 25% Permitted  
25.8% Existing  
33% Proposed

“ - Lot Coverage / 35% Permitted  
45.9% Proposed

Section 35-5.2b3 – Accessory Building (Garage) – Rear Setback – 5ft. Required  
0.38ft. Existing

“ “ - Side Setback - 5ft. Required  
1.57ft. Existing

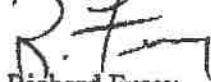
Section 35-7.7 – Driveway Setback – 1ft. Required  
.0ft. Existing

Additional Required documentation:

- Prior approval from the Shade Tree Committee regarding the removal of any trees on the property.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

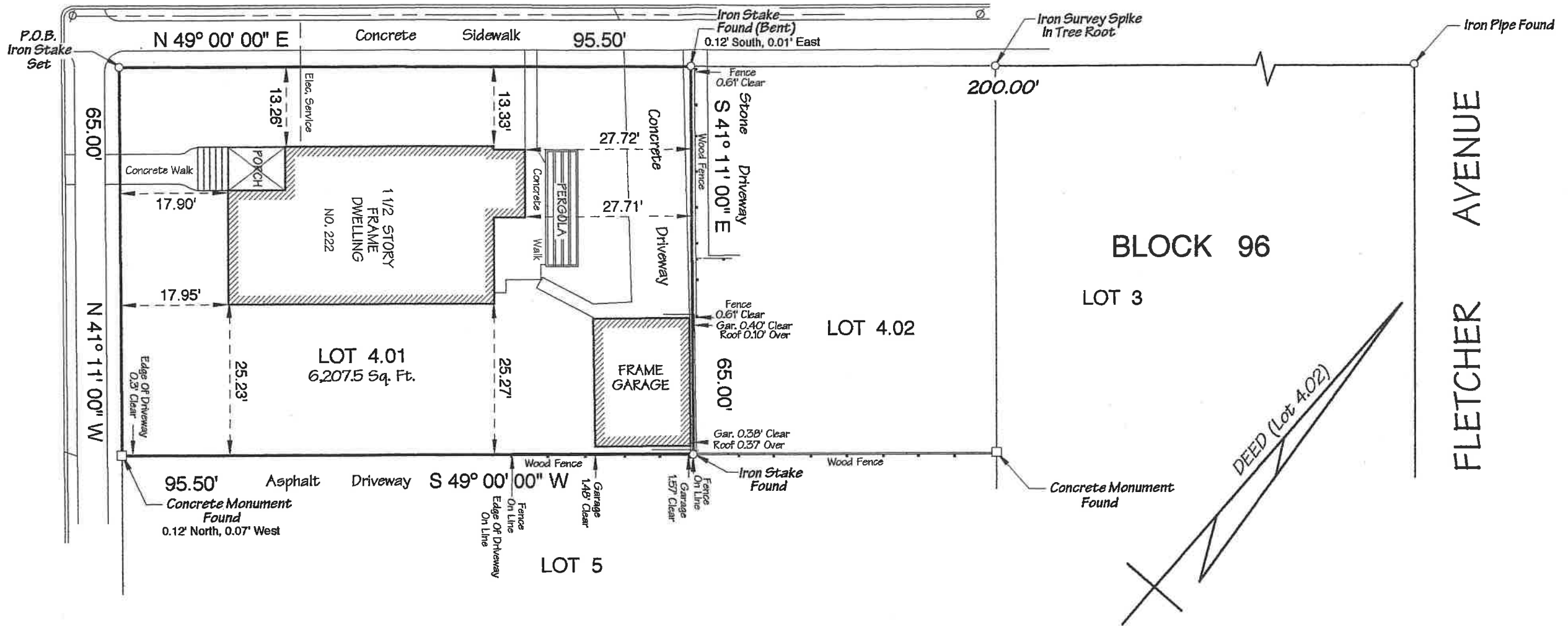


Richard Furey  
Zoning/Code Enforcement Officer

PREMISES BEING ALSO KNOWN AND DESIGNATED AS LOT 4.01 IN BLOCK 96 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN.

EAST MAIN STREET

(60' WIDE RIGHT OF WAY)  
**WYCKOFF AVENUE**  
 (40' WIDE ASPHALT PAVEMENT)



TO: PHYLLIS R. OLSEN AND CHARLOTTE ETTA BUSHONG

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS THE RESULT OF A FIELD SURVEY MADE ON JANUARY 3, 2019, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS".

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS, OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS CERTIFICATION IS GIVEN SOLELY TO THE ABOVE NAMED PARTIES.

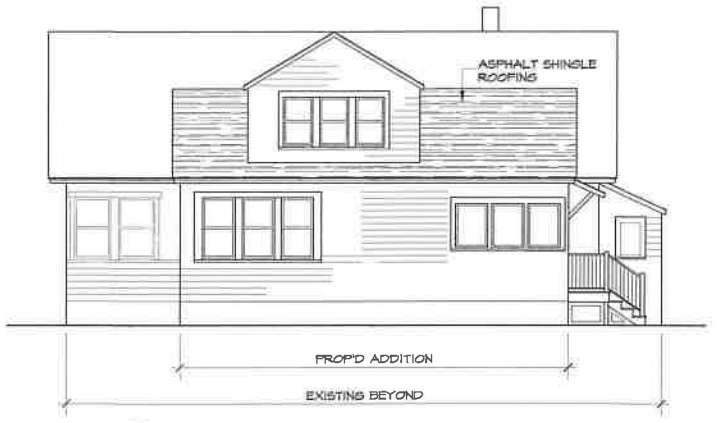
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

<b>MICHAEL J. WILLIAMS</b> PROFESSIONAL LAND SURVEYOR NEW JERSEY LICENSE NO. 25800  <i>Michael Williams</i>	DRAWN BY: M.J.W.	FIELD SURVEY BY: M.J.W. & T.M.R.	<b>SURVEY OF PROPERTY</b>  222 EAST MAIN STREET BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY
	REVISIONS NO. DATE		
SCALE: 1" = 20' DATE: JANUARY 7, 2019			MICHAEL J. WILLIAMS LAND SURVEYING, LLC 56 MAIN AVENUE OCEAN GROVE NEW JERSEY 07756 Tel: (732) 988 - 6440 Fax: (732) 502 - 0669
PROFESSIONAL PLANNER NEW JERSEY LICENSE NO. 3918			FIELD BOOK: IN FILE C.D.: S - 287 DRAWING NO.: A - 7773

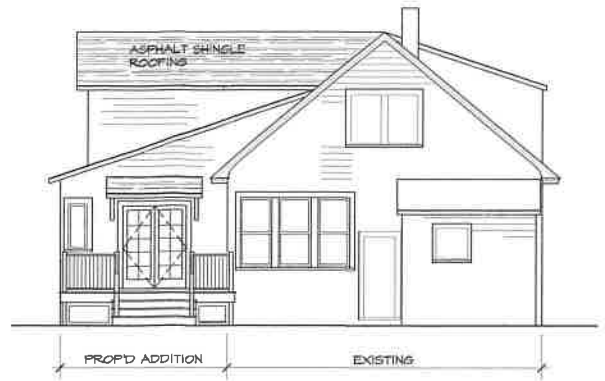
Variance Application:  
 Issued For Bid:  
 Issued For Permit:



11 FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



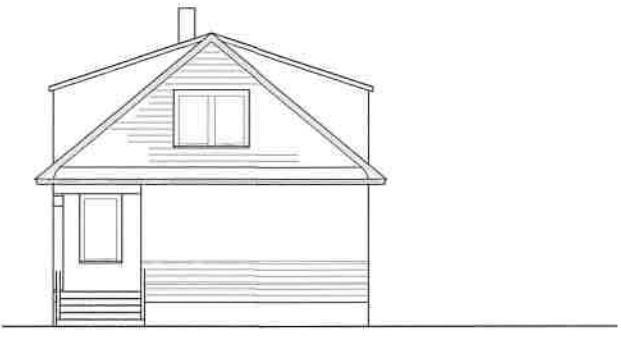
10 RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



9 REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



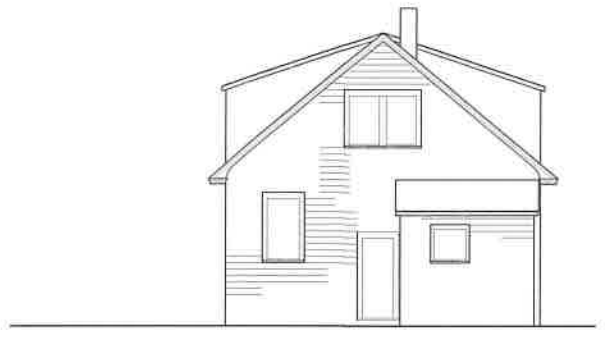
8 LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



7 EXISTING FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



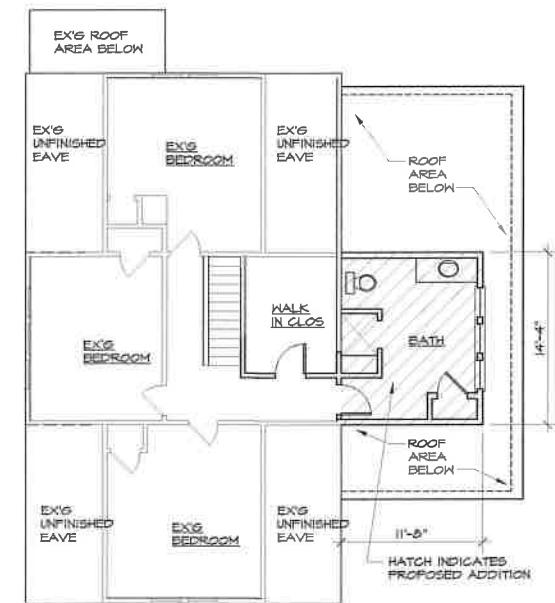
6 EXISTING RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



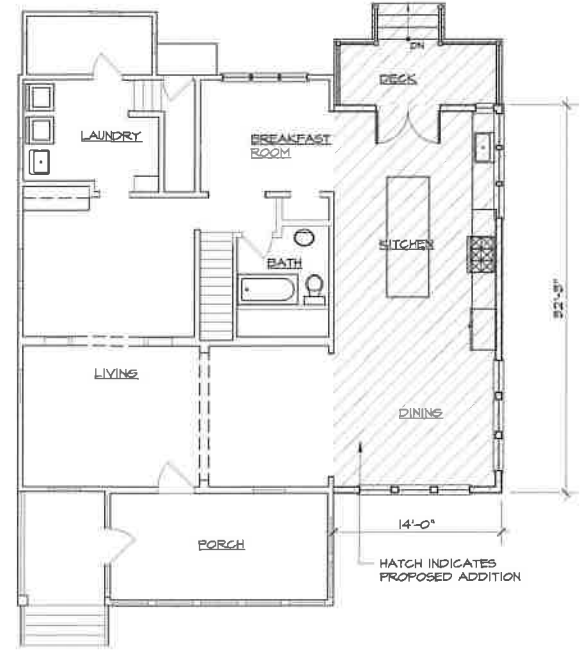
5 EXISTING REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



4 EXISTING LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

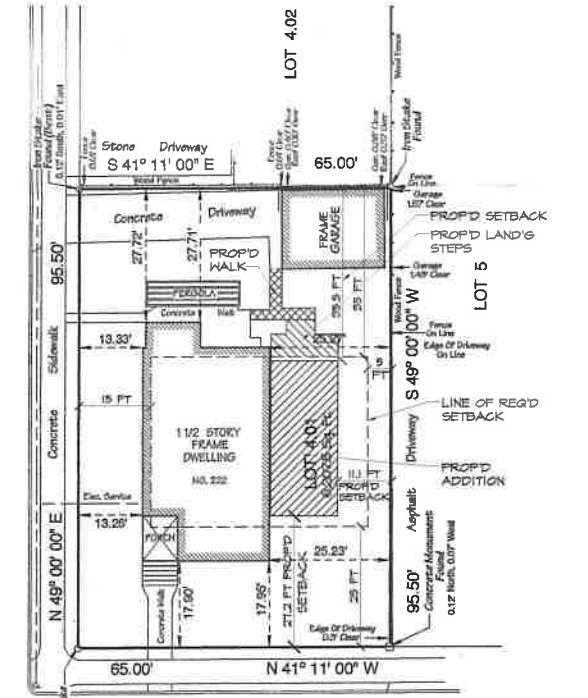


2 FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

SCHEDULE	REQ'D/ ALL	EXISTING	PROP'D	COMMENTS
ZONE, PERMITTED USE:	R-3 S-FAM			
LOT AREA MIN. SQ. FT.	7,000 SF	6,201.5 SF	NC	* EX'G NON CONFORM'G
LOT FRONTAGE MIN. FT.	50 FT	65 FT	NC	
FRONT YARD MIN. FT.	25 FT	11.9 FT	NC	* EX'G NON CONFORM'G, PROP'D CONFORMING 21.2' TO ADD'T
SIDE YARD WYCKOFF AVE MIN. FT.	15 FT	13.26 FT	NC	* EX'G NON CONFORM'G
SIDE YARD MIN. FT.	5 FT	25.23 FT	11.1 FT	
REAR YARD MIN. FT.	35 FT	27.71 FT	NC	* EX'G NON CONFORM'G, PROP'D CONFORMING 35.5' TO ADD'T
BUILDING HT. MAX. FT. MAX. STY.	35 FT 2 1/2 STY	24.5 FT 1 1/2 STY	24.5 FT 1 1/2 STY	
BUILDING COVERAGE MAX. %	25%	1,987 SF = 25.6%	2,038 SF = 32.8%	* EX'G NON CONFORM'G, VARIANCE REQUIRED
LOT COVERAGE MAX. %	35%	2,273 SF = 36.6%	2,852 SF = 45.9%	* EX'G NON CONFORM'G, VARIANCE REQUIRED

\* EXISTING AND PROPOSED NON-CONFORMING ITEMS

WYCKOFF AVENUE  
 (60' WIDE RIGHT OF WAY)  
 (40' WIDE ASPHALT PAVEMENT)



1 PROPOSED ARCHITECTURAL SITE PLAN  
 SCALE: 1" = 20'-0"

ARCHITECTURAL SITE PLAN REFERENCE SURVEY OF PROPERTY BY MICHAEL J. WILLIAMS PROFESSIONAL LAND SURVEYOR DATED JANUARY 7, 2019

*Young*  
**YOUNG**  
 ARCHITECTURE

118 Washington Street  
 Morristown, NJ  
 07960  
 tel: (973) 354-8033  
 fax: (973) 354-8043

NJ License No. 10883

VARIANCE APPLICATION  
 Proposed Addition/ Alteration:

**BUSHONG RESIDENCE**

222 East Main Street  
 Borough of Manasquan  
 Monmouth County, NJ

BLOCK 96 LOT 4.01

Date: 06/10/21  
 Drawn By: CAY/JET  
 Project No.: 22115

PAGE TITLE:  
 ARCH'L SITE PLAN,  
 SITE DATA, FLOOR  
 PLANS, ELEVATIONS

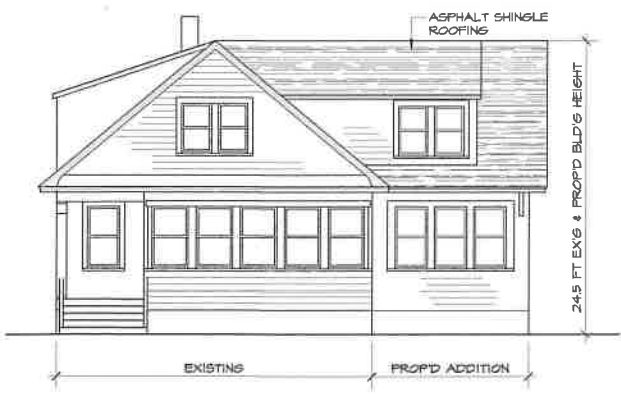
SCALE: AS NOTED

DRAWING NO. ZV-1

SHEET 1 OF 1



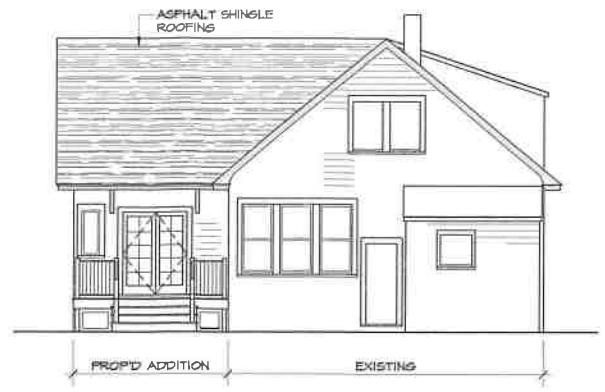
Variance Application:  
 Issued For Bid:  
 Issued For Permit:  
 Rev Variance: 11/30/21



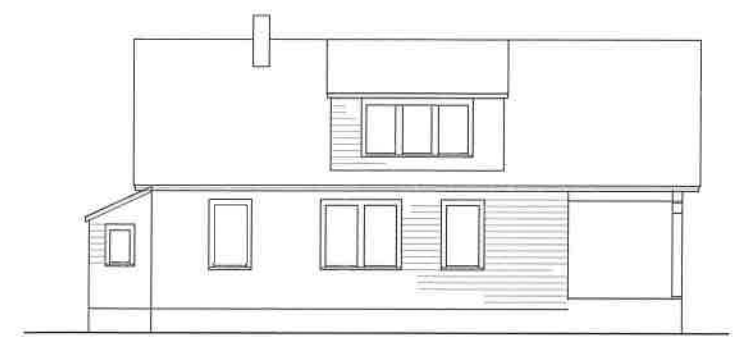
11 FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



10 RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



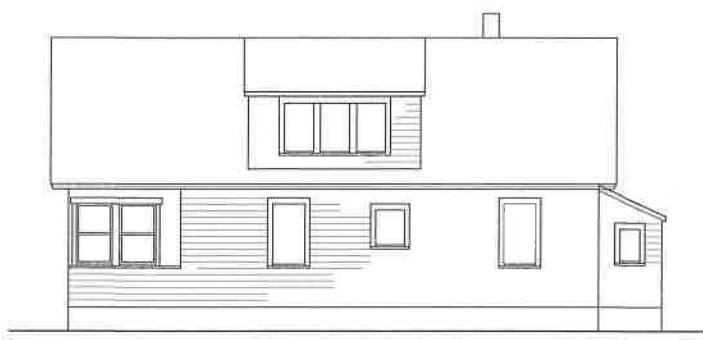
9 REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



8 LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



7 EXISTING FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



6 EXISTING RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



5 EXISTING REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



4 EXISTING LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

RECEIVED DEC 13 2021

*Carly...*

**YOUNG**  
 ARCHITECTURE

118 Washington Street  
 Morristown, NJ  
 07960  
 tel: (973) 359-8033  
 fax: (973) 359-8043

NJ License No. 10883

VARIANCE APPLICATION  
 Proposed Addition/ Alteration:

**BUSHONG**  
 RESIDENCE

222 East Main Street  
 Borough of Manasquan  
 Monmouth County, NJ

BLOCK 96 LOT 4.01

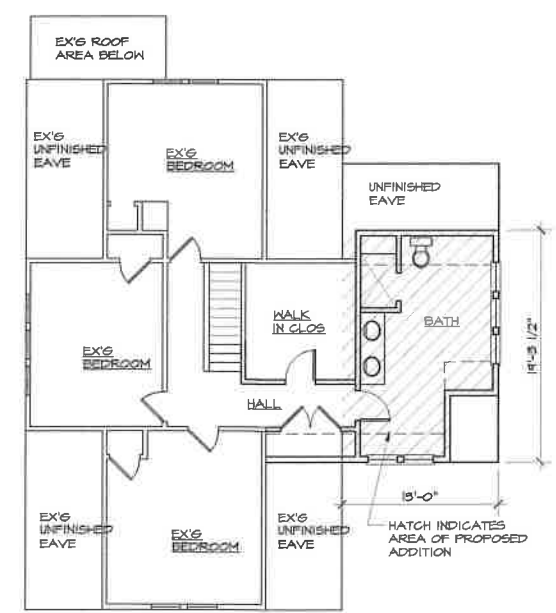
Date: 11/30/21  
 Drawn By: CAY/ET  
 Project No.: 22115

PAGE TITLE:  
 ARCH'L SITE PLAN,  
 SITE DATA, FLOOR  
 PLANS, ELEVATIONS

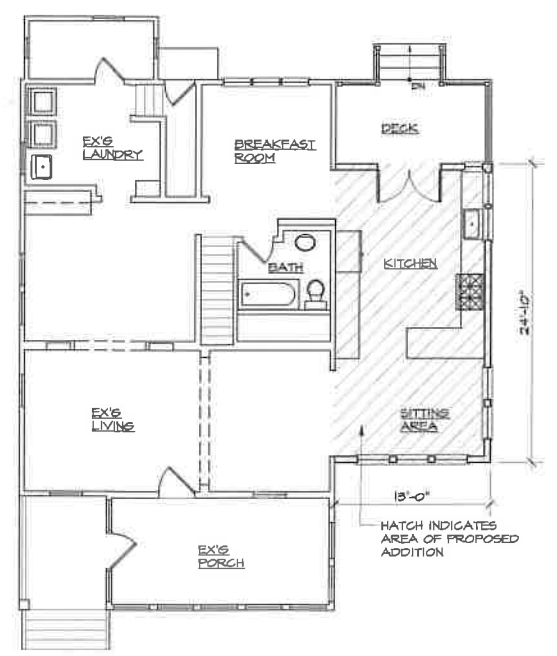
SCALE: AS NOTED

DRAWING NO. ZV-1

SHEET 1 OF 1



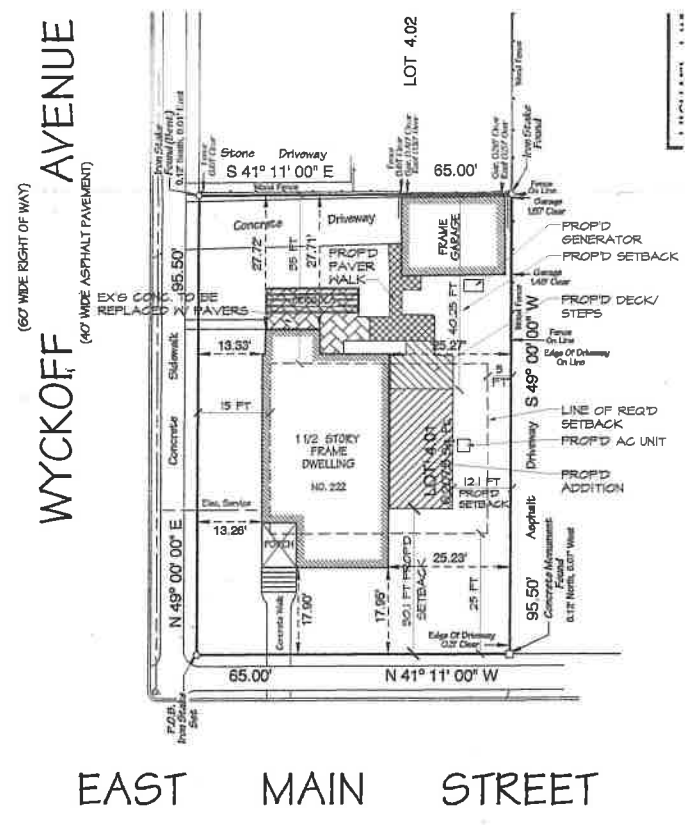
3 SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

SCHEDULE	REQ'D/ ALL	EXISTING	PROP'D	COMMENTS
ZONE, PERMITTED USE:	R-3 S-FAM			
LOT AREA MIN. SQ. FT.	7,000 SF	6,207.5 SF	NC	* EX'G NON CONFORM'G
LOT FRONTAGE MIN. FT.	50 FT	65 FT	NC	
FRONT YARD MIN. FT.	25 FT	17.4 FT	NC	* EX'G NON CONFORM'G, PROP'D CONFORM'G 30.1' TO ADD'
SIDE YARD MIN. FT.				
WYCKOFF AVE	15 FT	15.26 FT	NC	* EX'G NON CONFORM'G
SIDE YARD MIN. FT.	5 FT	25.29 FT	12.1 FT	
REAR YARD MIN. FT.	35 FT	27.71 FT	NC	* EX'G NON CONFORM'G, PROP'D CONFORM'G 40.25' TO ADD'
BUILDING HT. MAX. FT.	35 FT	24.5 FT	24.5 FT	
BUILDING HT. MAX. STY	2 1/2 STY	1 1/2 STY	1 1/2 STY	
BUILDING COVERAGE MAX. %	25%	1,567 SF = 25.6%	1,910 SF = 30.8%	* EX'G NON CONFORM'G, VARIANCE REQUIRED
LOT COVERAGE MAX. %	35%	2,275 SF = 36.6%	2,472 SF = 39.8%	* EX'G NON CONFORM'G, VARIANCE REQUIRED

\* EXISTING AND PROPOSED NON-CONFORMING ITEMS



1 PROPOSED ARCHITECTURAL SITE PLAN  
 SCALE: 1" = 20'-0"

ARCHITECTURAL SITE PLAN REFERENCE SURVEY OF PROPERTY BY MICHAEL J. WILLIAMS PROFESSIONAL LAND SURVEYOR DATED JANUARY 7, 2019

November 22, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

B.O.M. RECEIVED  
MSC \_\_\_\_\_ ADM \_\_\_\_\_  
CLERK \_\_\_\_\_ CFO \_\_\_\_\_  
**NOV 24 2021**

Re: Boro File No. MSPB-R1780  
Variance – Bedehorst  
Block 177, Lot 3  
560 Brielle Road  
R-3 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

CPW \_\_\_\_\_ CONST \_\_\_\_\_  
RD \_\_\_\_\_ OTHER \_\_\_\_\_

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plan of Topographic Survey prepared by Jay Pierson, PLS, of East Coast Engineering, Inc., dated August 10, 2021.
2. Plot Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, LLC, dated October 19, 2021.
3. Architectural Floorplans and Renderings, prepared by Atlantic Modular Builders, dated October 8, 2021.
4. Front Yard Setback Averaging prepared by Jason Marciano, PE, PP, of East Coast Engineering, Inc., dated September 2, 2021.

The property is located in the R-3 Single-Family Residential Zone with frontage on Brielle Road. With this application, the applicant proposes to construct a new two story, raised dwelling on the existing lot, and associated site improvements. The application is deemed complete as of November 22, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-3 Single Family Residential Zone. The existing and proposed residential use is permitted.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum building coverage of 35% is permitted, whereas a building coverage of 40.42% is proposed (59.58% exists).

Re: Boro File No. MSPB-R1780  
Variance – Bedehorst  
Block 177, Lot 30

November 22, 2021  
Sheet 2

- b. A minimum side yard setback of 5 feet is required, whereas a setback of 3.47 feet (west side) is proposed (2.1 feet exists).
  - c. A minimum side yard setback of 5 feet is required, whereas a setback of 3.47 feet, (east side) is proposed (2.1 feet exists).
  - d. A minimum patio side yard setback of 5 feet is required, whereas a setback of approximately 3 feet is proposed.
  - e. Mechanical equipment is not permitted within the side yard setback, whereas the two air conditioning units are proposed within the side yard, setback 3.47 feet.
  - f. Standby generators must be located in the rear yard, behind the building envelope, whereas the proposed generator is located within the building envelope but within the side yard, setback 3.47 feet.
3. The following non-conformities exist on Lot 3 and are not proposed to be modified as part of this application:
  - a. A minimum lot area of 3,400 square feet is required, whereas an area of 2,494 square feet exists and is proposed.
  - b. A minimum lot frontage of 40 square feet is required, whereas a frontage of 25 feet exists and is proposed.
4. The proposed front yard setback is 10.48 feet to the proposed dwelling where 25 feet is normally required, however the applicant's surveyor has provided front yard setback averaging calculations which demonstrate that the average setback within 200 feet is 5.39 feet.
5. The applicant proposes the first floor elevation of the dwelling at elevation 13.55 where the current base flood elevation is 9 feet. The proposed building height is 33 feet as measured from the top of curb.
6. The applicant proposes new depressed curb and a driveway apron on Brielle Road where none currently exists. A street excavation permit will be required for this construction.
7. It appears that the minimum two conforming parking spaces are provided, one under the dwelling and additional space in the driveway.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is proposed in the westerly side yard area. Slotted covers should be provided for the gutter overflows and I suggest a cleanout be provided at the rear of the lot for future cleaning of the system.
9. The method of stabilizing the remainder of the lot should be labeled on the plan.






Re: Boro File No. MSPB-R1780  
Variance – Bedehorst  
Block 177, Lot 30

November 22, 2021  
Sheet 3

10. If multiple water and sewer connections exist for the two existing dwellings, one must be properly eliminated in accordance with ordinance requirements.
11. The required 80 square feet of enclosed storage space is provided in the ground floor area.
12. A landscaping plan for the front yard area must be provided. It does not appear that any trees will be removed as part of this application.
13. Any new utilities should be located underground if possible.
14. Any curb and sidewalk must be replaced along Brielle Road and as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
MANASQUAN PLANNING BOARD  
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Joseph Kociuba, PE, PP  
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736  
Atlantic Modular Builders  
75 Taylor Avenue, Manasquan, NJ, 08736

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

APPLICATION TO THE PLANNING BOARD

\*Applicant's Name: John E. Bedehorst

\*Applicant's Address: 75 Taylor Ave, Manasquan, NJ

\*Telephone Number: Home: 732-528-8514 Cell: \_\_\_\_\_

\*e-mail Address: \_\_\_\_\_

\*Property Location: 560 Brielle Rd, Manasquan

\*Block: 177 Lot: 3

\*Type of Application: \_\_\_\_\_  
Bulk Variance Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

\*Date of Zoning Officer's Denial Letter: 10-26-21  
Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? yes

\*Does the Applicant own any adjoining land? No

\*Are the property taxes paid to date? yes

\*Have there been any previous applications to the Planning Board concerning this property? \_\_\_\_\_  
(Attach copy) None to the Applicant's Knowledge.

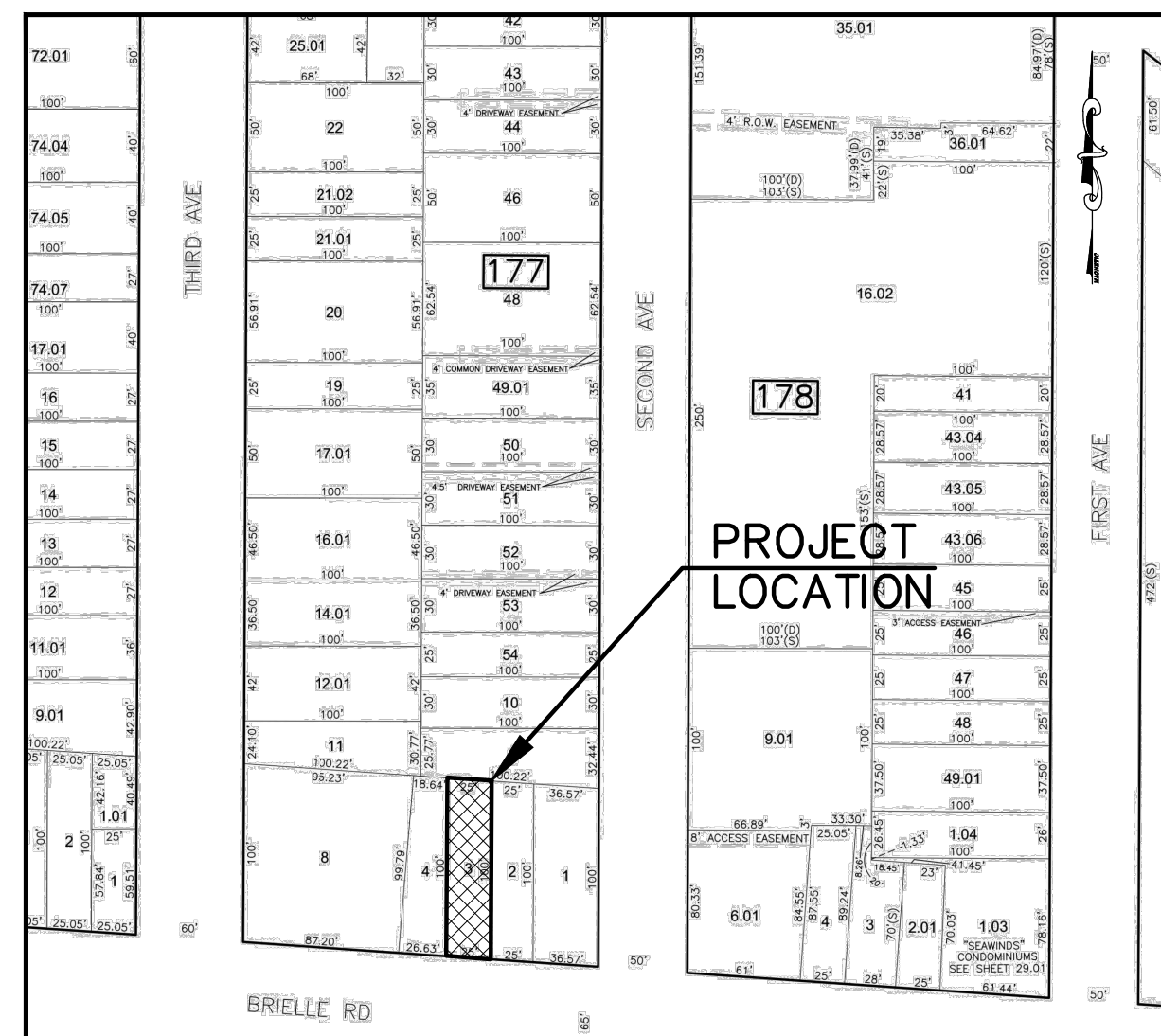
\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? No  
(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

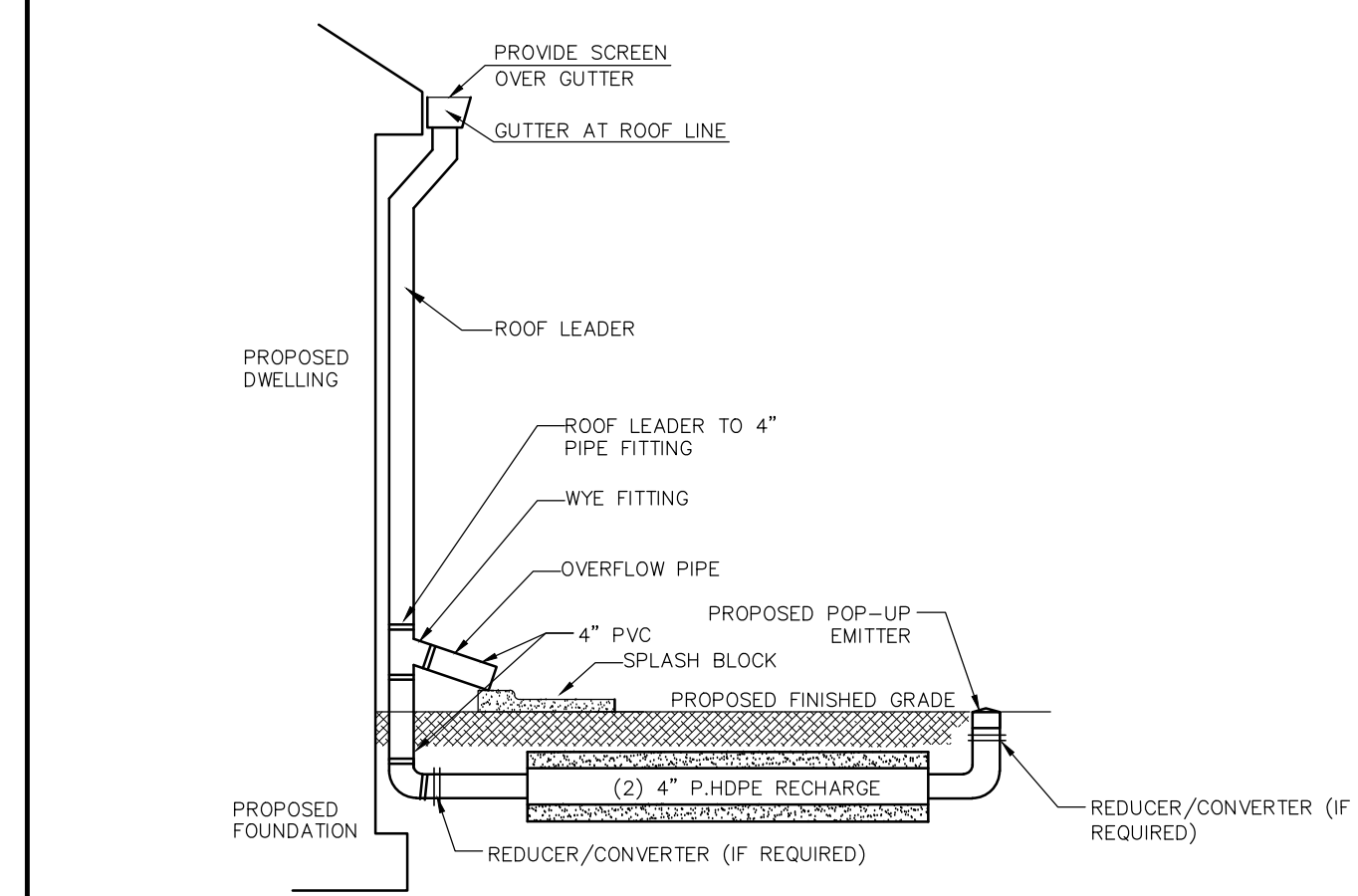
[Signature]  
Signature of Applicant or Agent

11/8/21  
Date

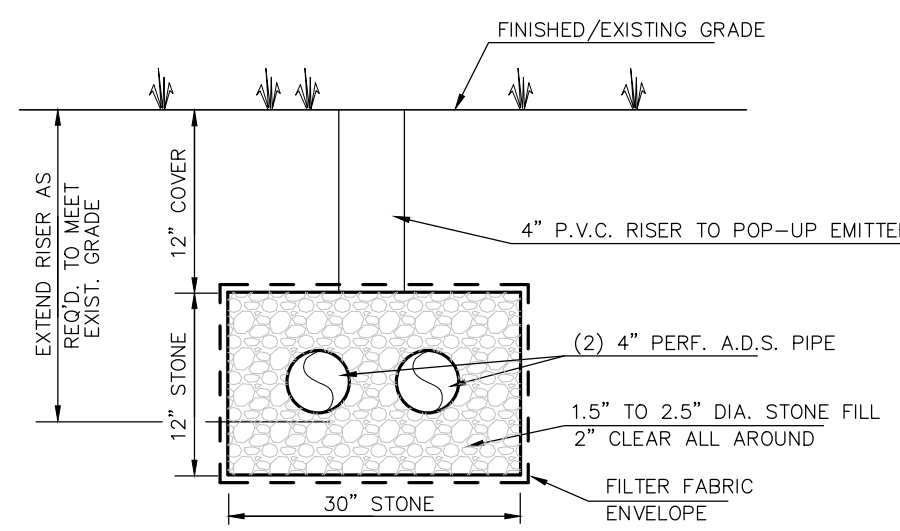
06/2021



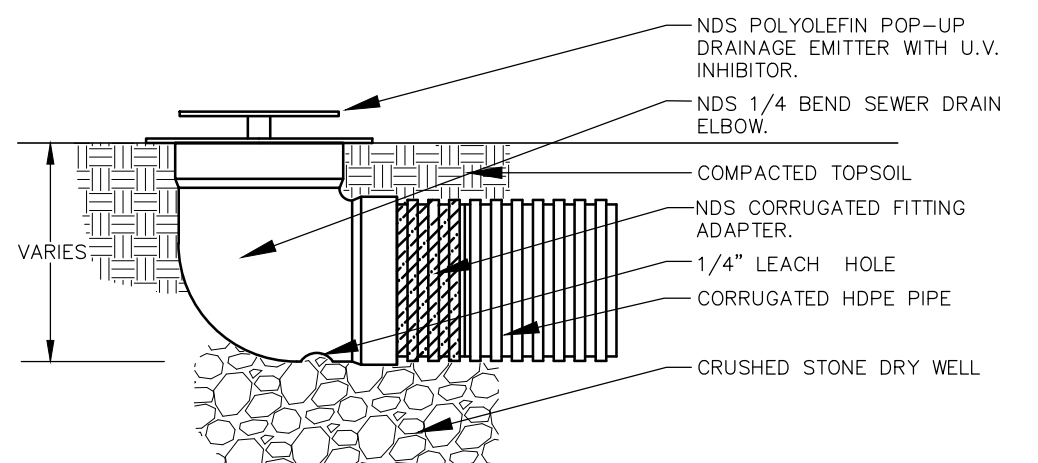
TAX MAP  
SCALE 1" = 200'



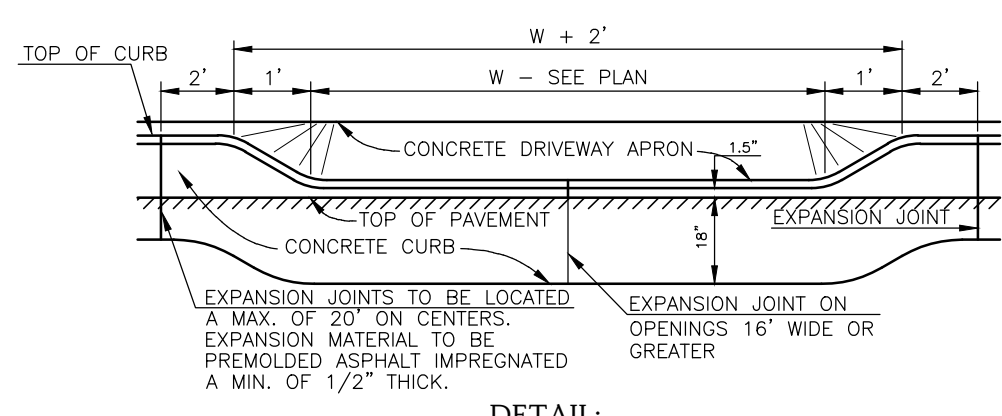
DETAIL:  
ROOF LEADER & RECHARGE SYSTEM  
NOT TO SCALE



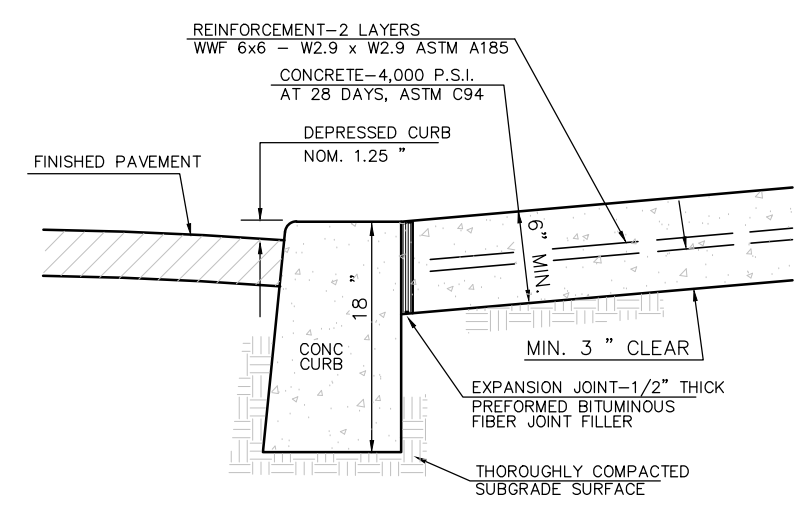
DETAIL:  
PERFORATED 8" HDPE RECHARGE  
NOT TO SCALE



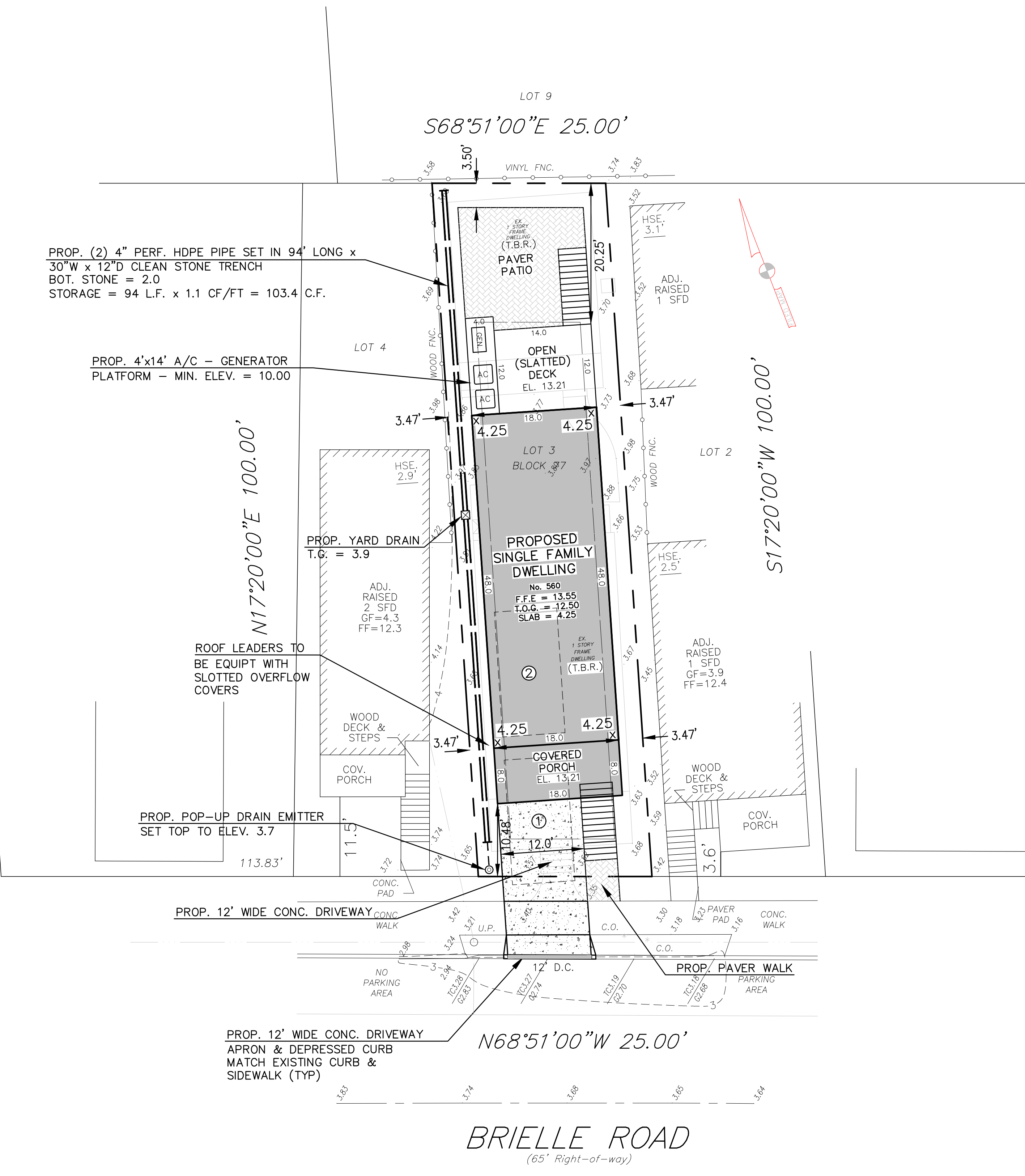
DETAIL:  
POP-UP DRAINAGE EMITTER  
NOT TO SCALE



DETAIL:  
CONCRETE DRIVEWAY APRON  
NOT TO SCALE



DETAIL:  
CONCRETE DRIVEWAY & APRON  
NOT TO SCALE



GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 177, LOT 3 AS SHOWN ON SHEET 29 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-3 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.0572± ACRES (2,494 S.F.)

APPLICANT: JOHN BREDEHORST & ANN MORENO  
75 TAYLOR AVENUE  
MANASQUAN, N.J.

APPLICANT PROPOSES TO CONSTRUCT NEW SINGLE FAMILY DWELLING

DESCRIPTION	ZONE R-3	
	REQUIRED/PERMITTED	EXISTING
BUILDING USE	RESIDENTIAL	RESIDENTIAL
LOT AREA	3,400 S.F.	* 2,494 S.F.
MIN. LOT FRONTAGE	40 FT.	* 25.0 FT.
FRONT YARD SETBACK (BRIELLE)	5.4 FT. (AVERAGE)	* 3.6 FT.
SIDE YARD SETBACK	5 FT.	* 2.1 FT. & 2.2 FT.
REAR YARD SETBACK	20 FT.	* 1.3 FT.
PRINCIPAL BUILDING COVERAGE	35 %	* 59.58 % (1,486 SF)
MAX. TOTAL IMPERVIOUS	50 %	63.39 % (1,581 SF)
MAX. BLDG. HEIGHT	38 FT. (2.5 STY)	< 33.0 FT.
MIN. STORAGE	80 S.F.	> 80.0 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	127 S.F.
MAX. CURB CUT WIDTH	12 FT.	N/A
MIN. MECHANICAL PLATFORM SETBACK	5 FT.	0.2 FT. (OVER)
MIN. PATIO SETBACK	5 FT.	N/A

\* - INDICATES EXISTING NON-COMFORMITY  
\*\* - INDICATES VARIANCE REQUIRED

EXISTING COVERAGES	PROPOSED BUILDING COVERAGES
EXIST. DWELLING/COV. PORCH = 910 S.F.	PROP. DWELLING = 864 S.F.
EXIST. DWELLING/COV. PORCH = 576 S.F.	PROP. COVERED PORCH = 144 S.F.
EXIST. FRONT STEPS/WALK = 18 S.F.	TOTAL = 1,008 S.F. (40.42 %)
EXIST. OUTDOOR SHOWER = 16 S.F.	
EXIST. A/C PADS = 8 S.F.	
EXIST. REAR CONC. WALK = 53 S.F.	
TOTAL = 1,581 S.F. (63.39 %)	

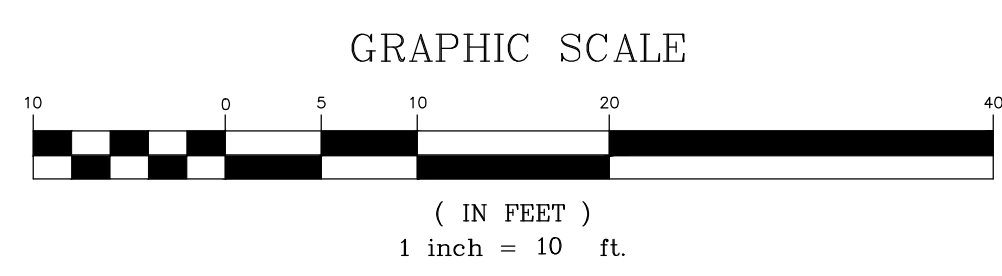
  

PROPOSED IMPERVIOUS COVERAGES
PROP. DWELLING/PORCH = 1,008 S.F.
PROP. CONC. DRIVEWAY = 130 S.F.
PROP. MECHANICAL PLATFORM (SLATTED) = EXEMPT
PROP. FRONT STEPS (SLATTED)/PAVER WALK = EXEMPT
PROP. REAR DECK/STEPS (SLATTED) = EXEMPT
PROP. REAR PAVER PATIO = EXEMPT
TOTAL = 1,138 S.F. (45.63 %)

- PLAN NOTES
- EXISTING PUBLIC SEWER AND WATER SERVICES TO REMAIN AND TO BE REUSED.
  - ELEVATIONS BASED ON 1988 N.A.V.D.
  - PROPERTY IS LOCATED IN ZONE 'AE' - ELEV. 9.0 PER FEMA PRELIMINARY FIRM MAPS
  - PROPERTY IS LOCATED WITHIN PRELIMINARY FIRM PANEL No. 34025C04566.
  - HOUSE HEIGHT NOT TO EXCEED 33 FT. ABOVE TOP OF CURB ELEVATION = 3.24.
- BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY LAKELAND SURVEYING DATED

MAX. BUILDING HEIGHT CALCULATIONS

TOP OF GIRDER	= 12.50
+ HOUSE	= 23.74
RIDGE HEIGHT	= 36.24
- AVG. CURB	= 3.24
HOUSE HEIGHT	= 33.00
(MAX ALLOWABLE HEIGHT = 33.0)	



REV. NO.	DATE	DESCRIPTION

**PLOT PLAN**  
**560 BRIELLE ROAD**  
**BLOCK 177 - LOT 3**  
FOR JOHN BREDEHORST & ANN MORENO

BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NEW JERSEY

**KBA ENGINEERING SERVICES LLC**  
Engineering | Planning

2517 Route 35, Bldg E, Ste 203  
Manasquan, NJ 08736  
P: (732) 722-8555 | F: (732) 722-8557  
KBAEngineers.com  
Plans@KBAEngineers.com  
Certificate of Authority No.: 24GA020200

DRN	CHK
SW	JJK

PROJECT NO. 2021-401  
SCALE AS SHOWN  
DATE 10/19/2021  
SHEET 1 OF 1

**JOSEPH J. KOCIUBA, P.E., P.P.**  
P.E. License No.: GE45850

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

October 26, 2021

Atlantic Modular Builders  
75 Taylor Avenue  
Manasquan, NJ 08736

Re: Block: 177 Lot: 8 Zone: R-3 Flood Zone: AE BFE: 9ft. DFE: 10ft.  
560 Brielle Road

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new two story single family dwelling.

Survey prepared by Jay Pierson on August 10, 2021. Plot plan prepared by Joseph Kociuba on October 19, 2021. Front yard average survey prepared by Jason Marciano on September 2, 2021. Conceptual building plans prepared by Atlantic Modular Builders on October 8, 2021.

**Application denied for the following reason(s):**

Section 35-9.4 – Lot Frontage – 40ft. Required  
25ft. Existing

“ - Lot Area – 3,400s.f. Required  
2,494s.f. Existing

“ - Side Setback (Left) – 5ft. Required  
3.47ft. Proposed

“ - Side Setback (Right) – 5ft. Required  
3.47ft. Proposed

“ - Building Coverage – 35% Permitted  
40.42% Proposed

Section 35-13.4 – On Site Parking – 2 Spaces Required  
1 Space Proposed

Section 35-11.8c – Prohibits locating any mechanical equipment (A/C) in the required 5ft. side setback area.

Section 35-11.8i – Requires that a standby generator must be located in the rear yard only and a minimum of 5ft. from the side property line or within the building line of the house whichever is greater.

Section 35-11.8k – Requires that a patio must be located in the rear yard and a minimum of 5ft. from the side and rear property lines.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

# EAST COAST ENGINEERING, INC.

Land Surveying – Engineering – Planning – GPS – GIS

508 Main Street  
Toms River, NJ 08753  
1-732-244-3030 ph  
1-609-693-2600 ph  
1-732-244-3044 fax  
www.eceinc.net

Jay F. Pierson, P.L.S., P.P.  
Robert J. Harrington, P.E.  
Jason M. Marciano, P.E., P.P.

## AVERAGE FRONT SETBACKS WITHIN 200 FEET

**SITE LOCATION:** Block 177, Lot 3  
**MUNICIPALITY:** Borough of Manasquan  
**PREPARED BY:** Jason M. Marciano, P.E., P.P.

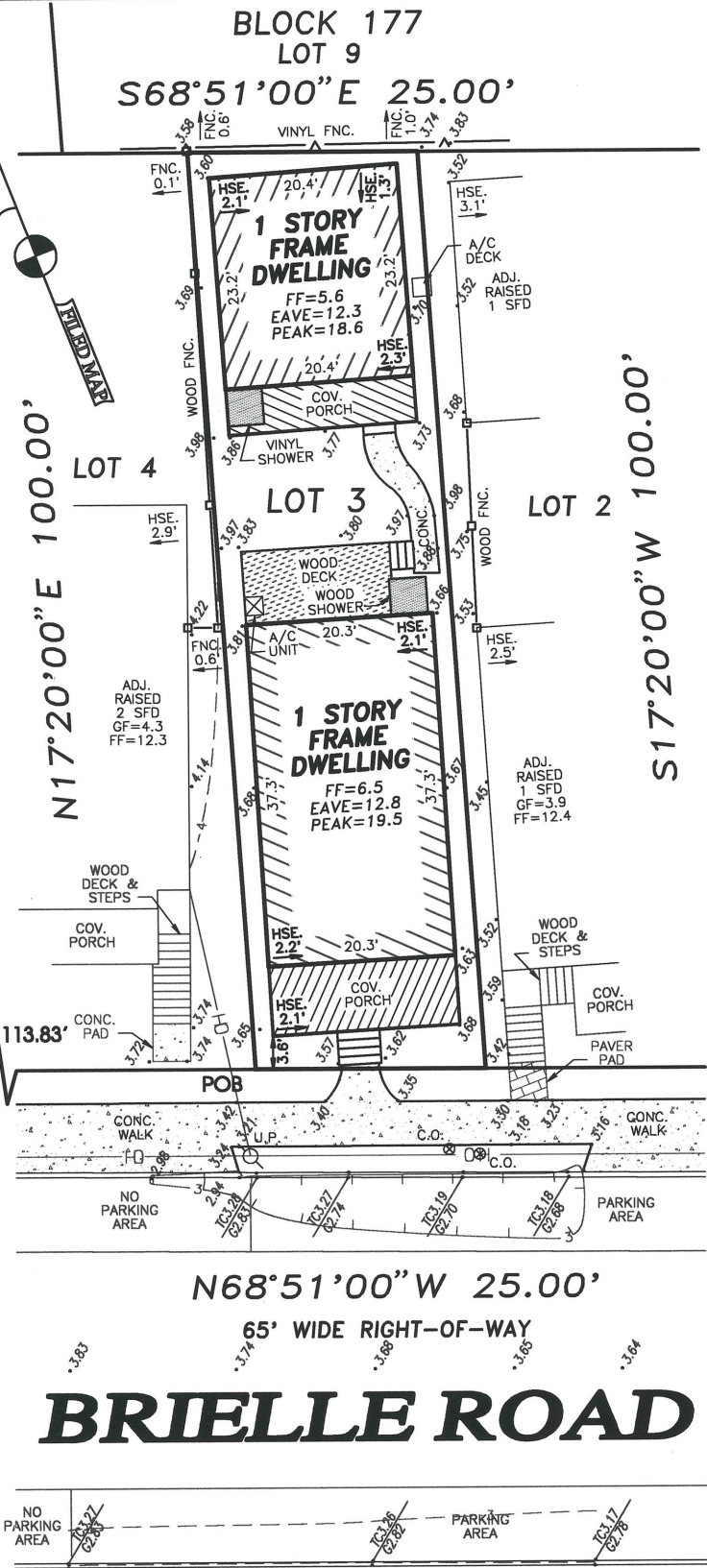
**DATE PREPARED:** 09/02/2021  
**JOB NUMBER:** 2021-0388  
**REVIEWED BY:** Dustin L. Gibson

Lot No.	Front Setback	Notes
2	3.6	Covered Porch
1	3.6	Building
6.01	7.0	Building
4	4.3	Covered Porch
4	11.5	Covered Porch
8	2.2	Building
1	5.5	Building
<b>Average</b>	<b>5.4</b>	

- LEGEND**
- = MONUMENT FOUND
  - = MONUMENT SET
  - = CAPPED PIN FOUND
  - = CAPPED PIN SET
  - = IRON PIPE FOUND
  - \* = STONE FOUND
  - ✕ = NAIL FOUND
  - ✕ = NAIL SET
  - OH— = OVERHEAD WIRES
  - ⊕ = UTILITY POLE
  - ⊕ = FIRE HYDRANT
  - POB = POINT OF BEGINNING

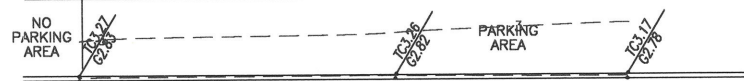
**PREPARED FOR:**  
ATLANTIC MODULAR BUILDERS

**Third Avenue**  
60' Wide Right-Of-Way



\*NO ATTEMPT HAS BEEN MADE TO MAKE A TIDELANDS DETERMINATION ON THIS PROPERTY  
 \* NO ATTEMPT HAS BEEN MADE TO MAKE A WETLANDS DETERMINATION ON THIS PROPERTY  
 \*THIS SURVEY IS A REPRESENTATION OF CONDITIONS EXISTING ON THE PROPERTY OR IN DOCUMENTATION SUPPLIED AT TIME OF SURVEY EXCEPT SUCH EASEMENTS AND ENCROACHMENTS IF ANY THAT MAY BE LOCATED BELOW THE SURFACE OF THE LAND OR ON THE SURFACE OF THE LAND BUT NOT VISIBLE OR ANY OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.  
 \*THIS SURVEY IS MADE ONLY TO NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OR TO DELINEATE PROPERTY FOR NAMED PARTIES.  
 \*NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY OR TO ANY OTHER PERSON NOT LISTED EITHER DIRECTLY OR INDIRECTLY.  
 \*UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS ILLEGAL AND PUNISHABLE BY LAW.

**BRIELLE ROAD**  
65' WIDE RIGHT-OF-WAY



**NOTES:**

- 1.) OFFSETS TO DWELLINGS, SHEDS AND BUILDINGS ARE TO EDGE OF SIDING, BRICK OR STONE.
- 2.) OFFSETS TO FENCES ARE AS FOLLOWS:  
 CHAINLINK- CENTER OF END/CORNER POST  
 WROUGHT ALUMINUM- CENTER OF END/CORNER POST POST AND RAIL FENCE- CENTER OF END/CORNER POST  
 PICKET FENCE- EDGE OF BOARD (FINISHED SIDE)  
 WOOD STOCKADE FENCE- EDGE OF BOARD (FINISHED SIDE)  
 VINYL STOCKADE FENCE- CENTER OF END/CORNER POST
- 3.) PROPERTY CORNERS TO BE SET.

**DEED DESCRIPTION:**

BEING KNOWN AS PARTS OF LOTS 3 AND 4 IN BLOCK 1 AS SHOWN ON A CERTAIN MAP ENTITLED "MAP NO. 1 OF LOTS OF LONGMIER REALTY CO. AT MANASQUAN, MONMOUTH COUNTY, NEW JERSEY" WHICH SAID MAP WAS FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON DECEMBER 31, 1926 AS MAP NO. 34-15.

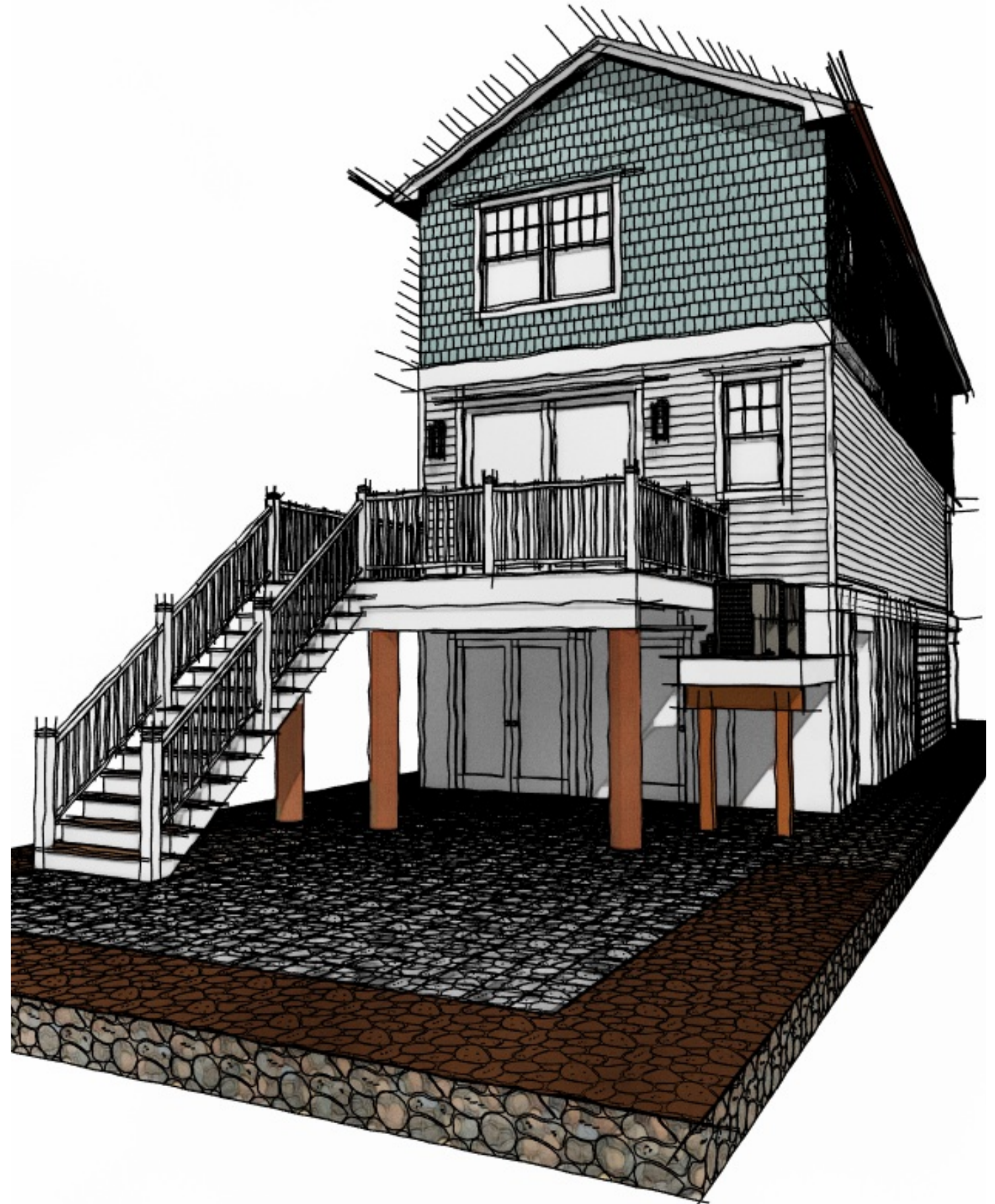
**SURVEY MAP**  
BLOCK 177 LOT 3

BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

JOB No.: 2021-0388	TAX MAP SHEET No.: 29
DRAWN BY: KRH	DEED BOOK / PAGE: 8782 / 4692
CHECKED BY: JFP2	UNITS: USFT
SCALE: 1" = 20'	VERTICAL DATUM: NAVD 1988
CONDITIONS AS OF: 07/29/2021	HORIZONTAL DATUM: ASSUMED

*Jay F. Pierson*  
**JAY F. PIERSON, P.L.S., P.P.**  
 NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492  
 NEW JERSEY PROFESSIONAL PLANNER 02525

**East Coast Engineering, Inc.**  
 ENGINEERING LAND SURVEYING PLANNING GPS  
 (732) 244-3030 VOICE 508 MAIN STREET  
 (609) 693-2600 VOICE TOMS RIVER, NJ 08753  
 (732) 244-3044 FAX www.eceinc.net  
 CERTIFICATE OF AUTHORIZATION No. 24GA27935600



ATLANTIC MODULAR BUILDERS  
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736  
TEL. (732)528-8514 FAX. (732)528-8516  
RYAN@AMBMODULAR.COM

**BREDEHORST RESIDENCE**

560 BRIELLE RD, MANASQUAN  
BLOCK - 177 / LOT - 3

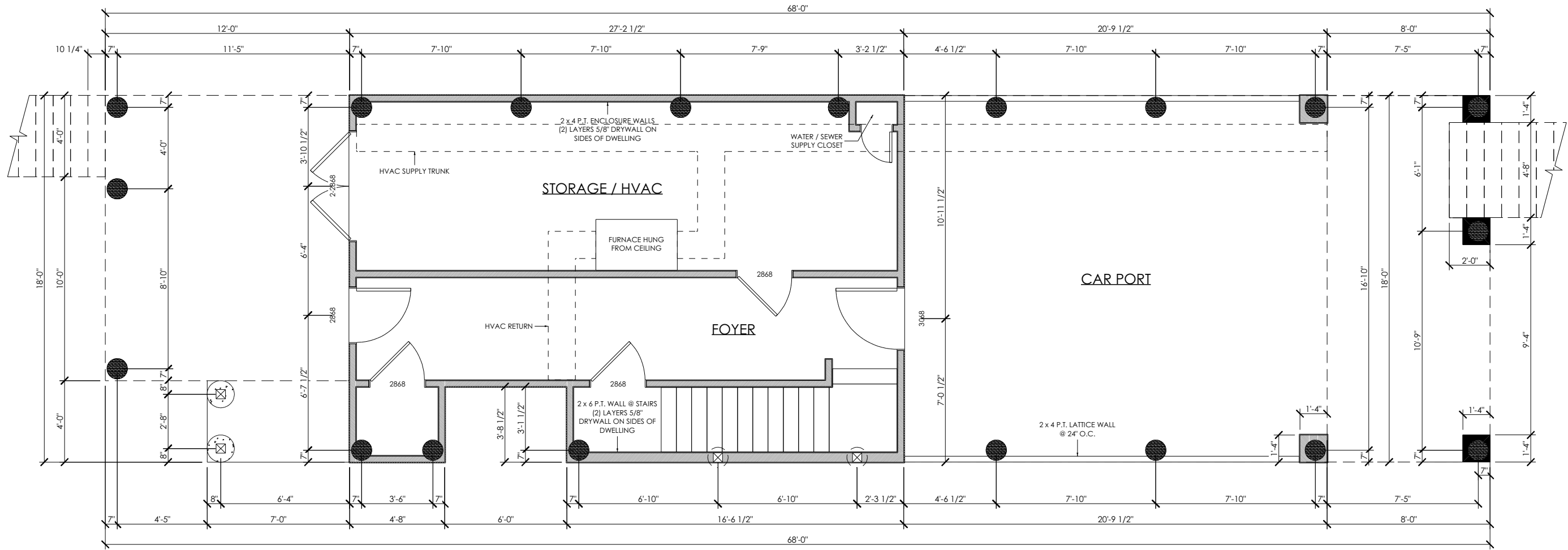
DATE:  
10/8/2021



**BREDEHORST RESIDENCE**

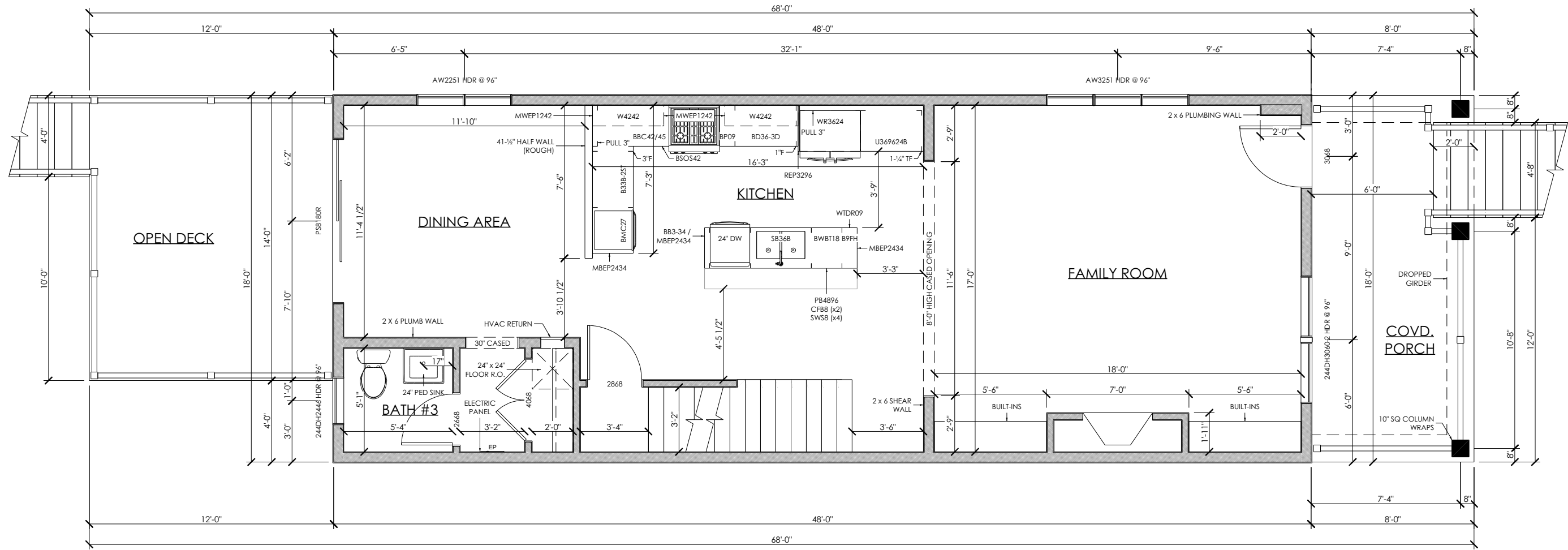
560 BRIELLE RD, MANASQUAN  
 BLOCK - 177 / LOT - 3

DATE:  
 10/8/2021



**FOUNDATION PLAN**

SCALE: 3/16" = 1'-0"



# FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

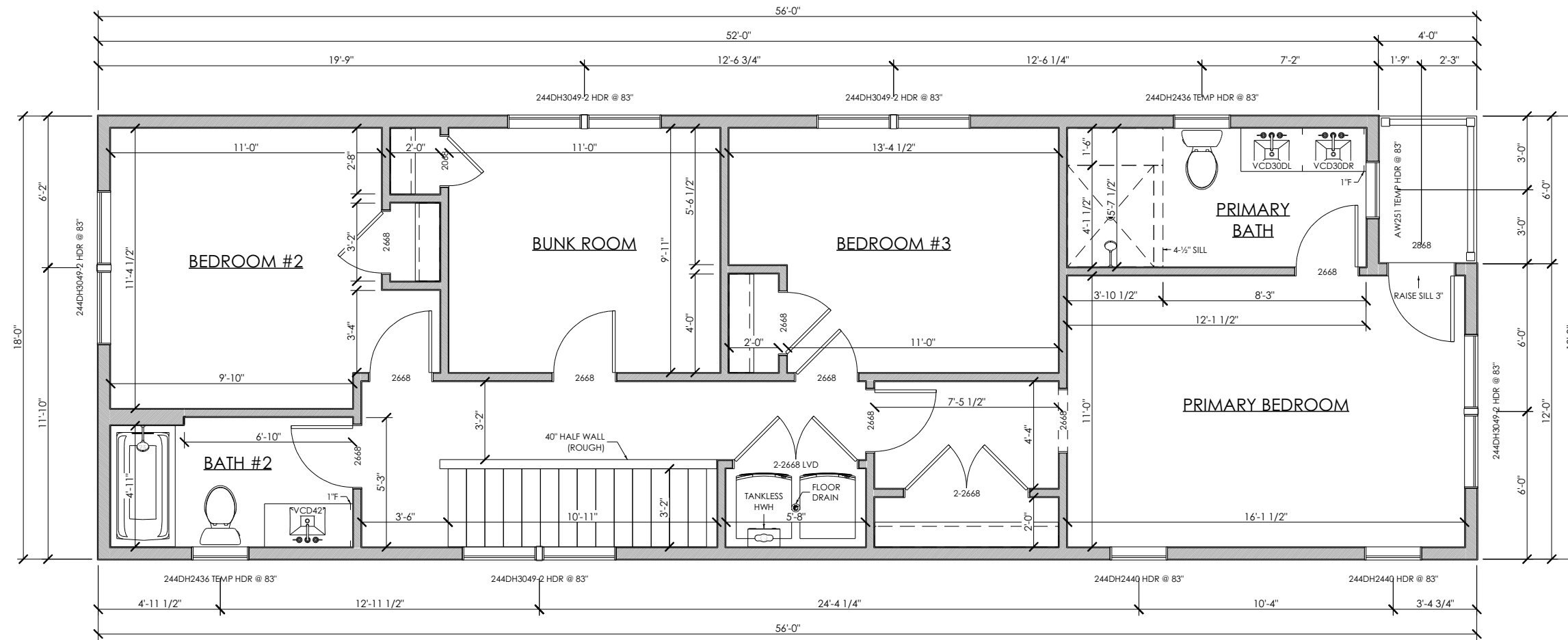
**ATLANTIC MODULAR BUILDERS**  
WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736  
TEL. (732)528-8514 FAX. (732)528-8516  
RYAN@AMBMODULAR.COM

## BREDEHORST RESIDENCE

560 BRIELLE RD, MANASQUAN  
BLOCK - 177 / LOT - 3

DATE:  
10/8/2021



# SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

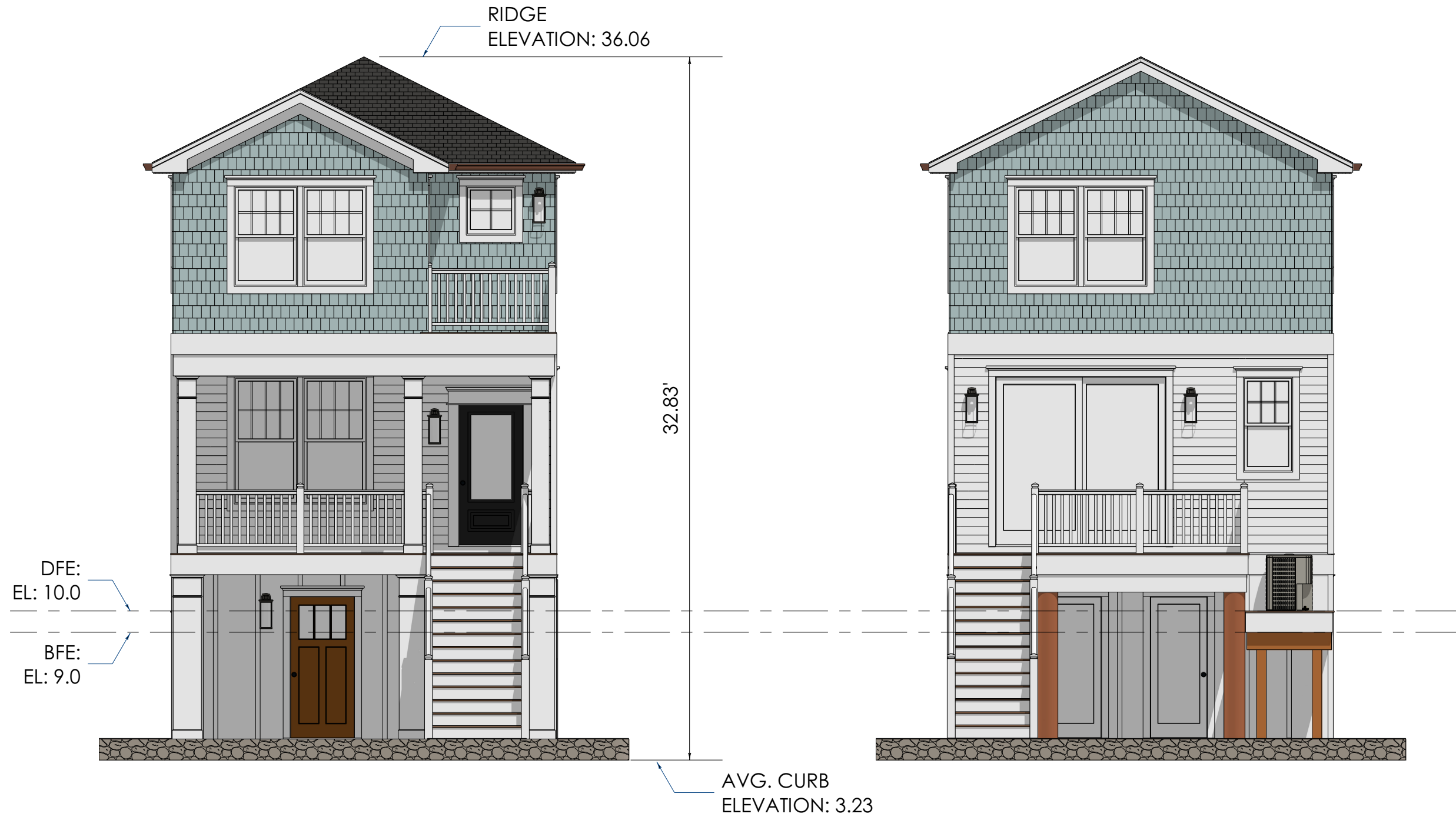
**ATLANTIC MODULAR BUILDERS**  
 WWW.AMBMODULAR.COM

75 TAYLOR AVENUE, MANASQUAN, NJ 08736  
 TEL. (732)528-8514 FAX. (732)528-8516  
 RYAN@AMBMODULAR.COM

## BREDEHORST RESIDENCE

560 BRIELLE RD, MANASQUAN  
 BLOCK - 177 / LOT - 3

DATE:  
 10/8/2021



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

**REAR ELEVATION**

SCALE: 3/16" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"